

SPECIFICATIONS

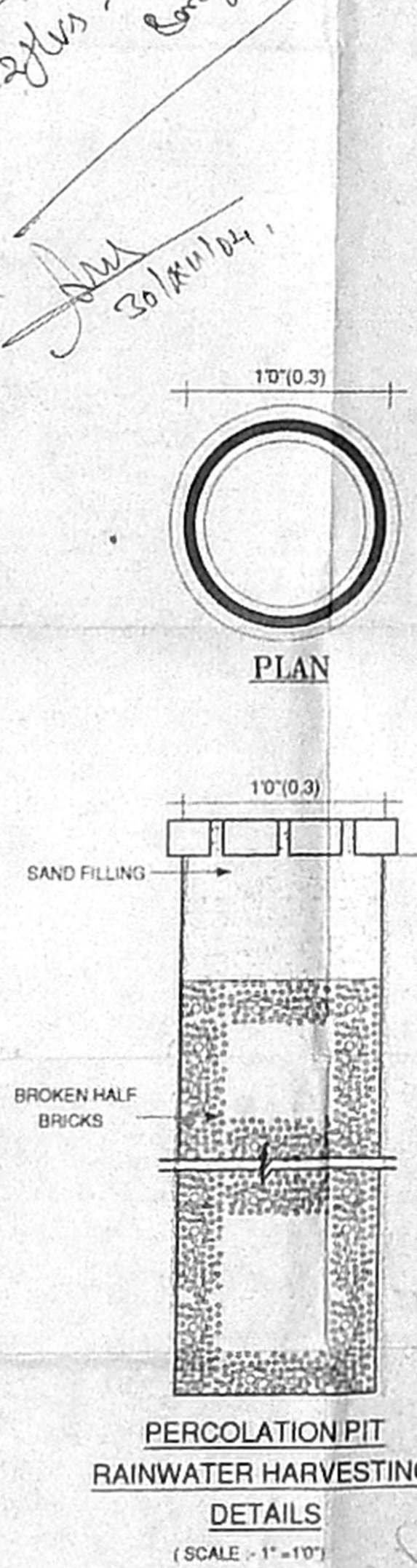
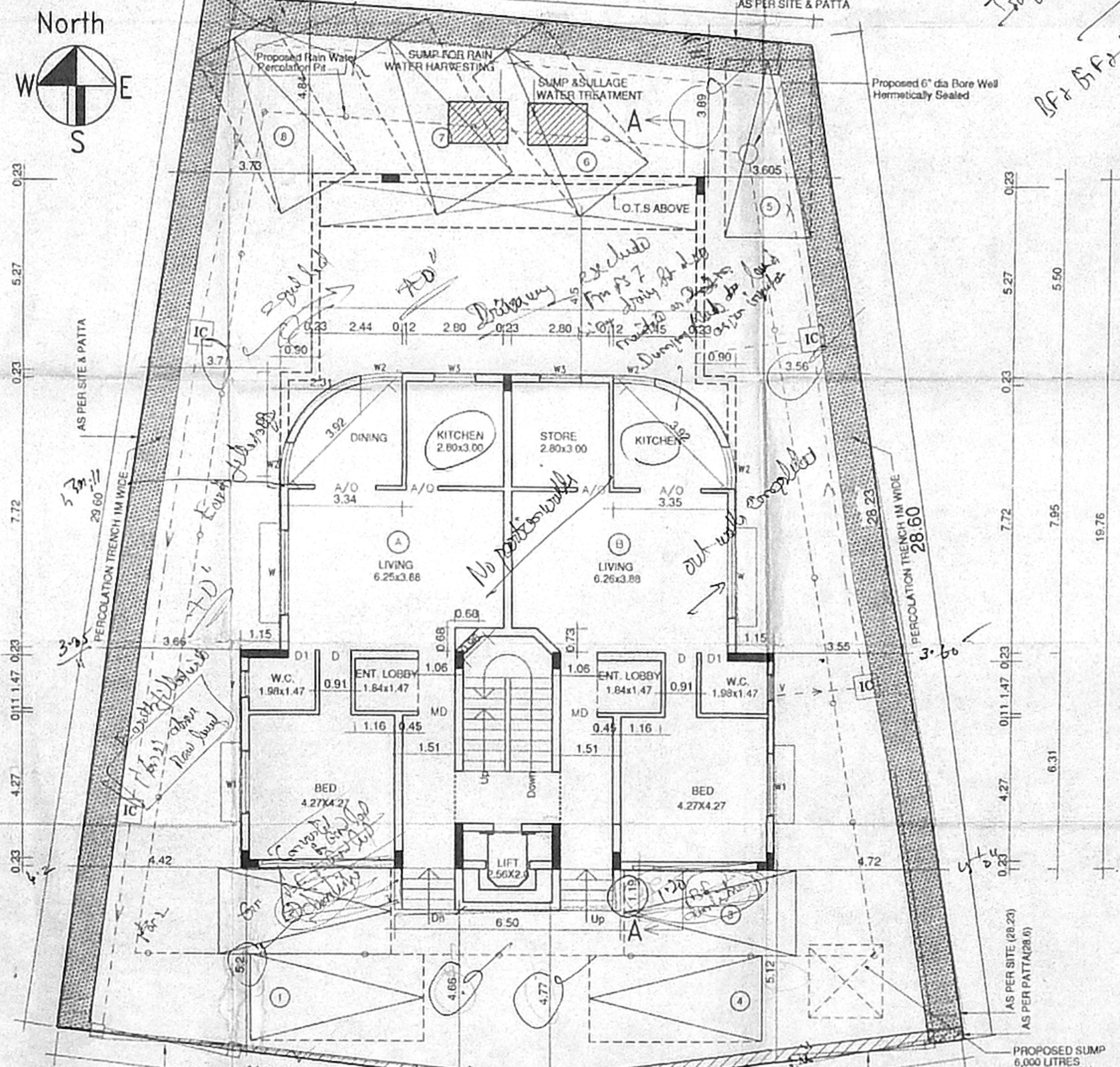
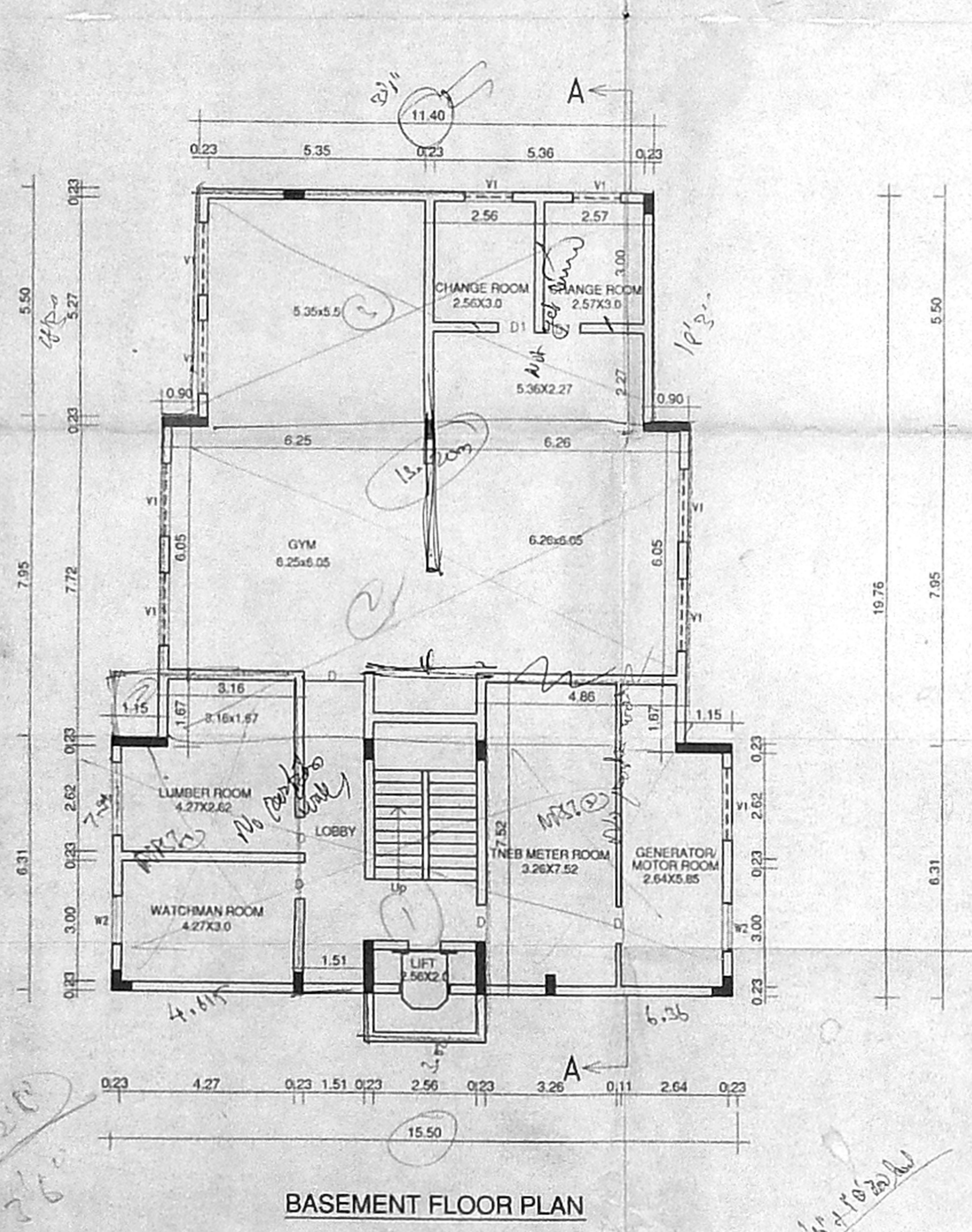
- FOUNDATION WITH RCC COLUMN AND BEAMS AS PER STRUCTURAL DESIGN.
- BASEMENT AND SUPER STRUCTURE SPINDLE IN CM 1:3.
- FLOORING FINISHED WITH Green Tile, WHITE MOSAIC TILES CM 1:5.
- R.C.C ITEMS COLUMNS, PLINTH BEAMS, UNTEL SUNSHADE, FLOOR BEAMS AND FLOOR SLAB ALL WORK IN R.C.C 1:2:4 MIX WITH SUITABLE REINFORCEMENT AS PER STRUCTURAL DESIGN. PLASTERING BOTH SIDES AT ALL WALLS AND CEILING ETC. 12mm THK.
- WHITE COLOUR WASH TWO COATS OF COLOUR WASH OVER ONE COAT OF LIME.
- JOINERY TEAK WOOD FRAMED FLUSH DOOR AND GLAZED WINDOW AND VENTILATORS AND FINISHED WITH TWO COATS OF ENAMEL PAINT ONE COAT WOOD PRIMER WEATHERING COURSE TWO COURSES OF COUNTRY TILES LAID TO SLOPE WITH CM 1:4 OVER 6" THK. BRICK JELLY, LIME CONC. LAID TO 1 to 30 SLOPE 1:3:6 MIX.

SCHEDULE OF JOINERY

CMDA (B) C.No.	TYPE	NO	DESCRIPTION	SIZE
Asst.	D	2	MAIN DOOR	1070x2100
Secretary	D1	1	DOOR	920x2100
P.A.	W	1	WINDOW	760x2100
	W1	1	WINDOW	2400x1200
	W2	1	WINDOW	1800x 1200
	W3	1	WINDOW	1200x 1200
	V	1	VENTILATOR	600x 750
	V1	1	VENTILATOR	1800x 750
	A/O	1	AREA DOOR	2100x2100

AREA STATEMENT

DESCRIPTION	SQ.M	SQ.FT.
TOTAL PLOT EXTENT (As per Document)	624.00	6716.74
TOTAL PLOT EXTENT (As per Patta)	646.50	6958.93
PROPOSED BASEMENT FLOOR (NFSI)	79.92	860.26
PROPOSED BASEMENT FLOOR (FSI)	189.11	2035.58
PROPOSED GROUND FLOOR	206.49	2222.66
PROPOSED FIRST FLOOR	251.94	2711.88
PROPOSED SECOND FLOOR	251.94	2711.88
TOTAL BUILT-UP AREA	899.48	9682.00
PLOT COVERAGE	40.38%	
F.S.I	1.44	



PLAN SHOWING THE PROPOSED CONSTRUCTION OF RESIDENTIAL BUILDING AT DOOR NO. F.36, 2ND AVENUE, ANNANAGAR, CHENNAI - 600 040. COMPRISED IN T.S.NO.62, BLOCK NO.2, PERIYAKUDAL VILLAGE.

CORPORATION DIVISION NO- 67 ZONE-V

CAR PARKING CHART
FOR EVERY 75 Sq.m DWELLING AREA 1 CAR PARKING SPACE SHOULD BE PROVIDED
NO. OF CARS REQUIRED = 8 NOS.
NO. OF CARS PROVIDED = 8 NOS.

NOTE:
All measurement s are in Millimeters. IC - Inspection Chamber

LEGEND

PROPOSED	BOUNDARY
	ROAD

SHEET TITLE DWG NO.
SITE, CLM GROUND FLOOR, FIRST FLOOR, SECTION, ELEVATION
KEY PLAN, PERCOLATION PIT, COLUMN DETAILS & PLINTH BEAM DETAILS
SCALE: 1:100 (1"=50') S.V.V. JOB NO. CHECKED BY

OWNER
K. S. N. Kumar Sotaldas

LICENSED SURVEYOR
S. ATHYANAN, B.E., Class-I, Licensed Surveyor - No. 192 Corporation of Chennai
5, Nathamuni Street, T. Nagar, Chennai - 17 Phone: 2813 0224 Mobile: 31034440

architects & engineers
R. RAMSON associattes

HO: DOOR NO. 682, GREENWAYS ROAD EXTENSION, R.A. PURAM CHENNAI-28. PHONE: 24612533, 52111027.
B.O: No. 72/73 "SRISHAS" SIRUVALLUR HIGH ROAD, PERAMBUR, CHENNAI-11. PHONE: 52164992, 28701366.

BASEMENT FLOOR PLAN

SITE CUM GROUND FLOOR PLAN

PERCOLATION PIT RAINWATER HARVESTING DETAILS (SCALE - 1"=10")

11" GATE WITH DWARF WALL 7/2 CM HEIGHT

11" GATE WITH DWARF WALL 7/2 CM HEIGHT

PROPOSED SUMP 6,000 LITRES 2'13" x 2'13" x 1'5" HERMETICALLY & SCIENTIFICALLY SEALED

- FOUNDATION WITH REC. COLUMN AND FOOTING AS PER STRUCTURAL DESIGN
- BASEMENT AND SUPER STRUCTURE 9" THK. B.W IN CM 1:5.
- FLOORING FINISHED WITH 6mm THK. WHITE MOSAIC TILES CM-1:5
- R.C.C. ITEMS-COLUMNS, PLINTH BEAMS, UNTEL SUNSHADE, FLOOR BEAMS AND FLOOR SLAB ALL WORK IN R.C.C. 1:2:4 MIX WITH SUITABLE REINFORCEMENT AS PER STRUCTURAL DESIGN PLASTERING BOTH SIDES AT ALL WALLS AND CEILING ETC. 12mm THK.
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SCHEDULE OF JOINERY

TYPE	DESCRIPTION	SIZE
MD	MAIN DOOR	1070x2100
D1	DOOR	920x2100
D1	DOOR	760x2100
W1	WINDOW	2400x1200
W1	WINDOW	1800x 1200
W2	WINDOW	1200x 1200
W3	WINDOW	1200x 900
V	VENTILATOR	600x 750
V1	VENTILATOR	1800x 750
A/O	ARCH OPENING	2100x2100

AREA STATEMENT

DESCRIPTION	SQ.M.	SQ.FT.
TOTAL PLOT EXTENT(As per Document)	624.00	6715.74
TOTAL PLOT EXTENT(As per Patta)	646.50	6958.93
PROPOSED BASEMENT FLOOR (NFS)	79.92	860.26
PROPOSED BASEMENT FLOOR (FS)	189.11	2039.56
PROPOSED GROUND FLOOR	208.49	2222.68
PROPOSED FIRST FLOOR	251.94	2711.88
PROPOSED SECOND FLOOR	251.94	2711.88
TOTAL BUILT-UP AREA	899.48	9682.00
PLOT COVERAGE	40.38%	
F.S.I	1.44	

PLAN SHOWING THE PROPOSED CONSTRUCTION OF RESIDENTIAL BUILDING AT DOOR NO. F.36, 2ND AVENUE, ANNANAGAR, CHENNAI - 600 040. COMPRISED IN T.S.NO.62, BLOCK NO.2, PERIYAKUDAL VILLAGE. CORPORATION DIVISION NO- 67 ZONE-V

CAR PARKING CHART
FOR EVERY 75 Sq.m DWELLING AREA 1 CAR PARKING SPACE SHOULD BE PROVIDED
NO. OF CARS REQUIRED = 8 NOS.
NO. OF CARS PROVIDED = 8 NOS.

NOTE - All measurements in meters. IC - Inspection Chamber

LEGEND

PROPOSED	BOUNDARY
ROAD	ROAD

SHEET TITLE DWG NO.

FIRST FLOOR PLAN, SECOND FLOOR & TERRACE FLOOR PLAN
PERCOLATION PIT, COLUMN DETAILS & PLINTH BEAM DETAILS
SCALE: DRAWN BY: REV BY: JOB NO: CHECKED BY:

OWNER

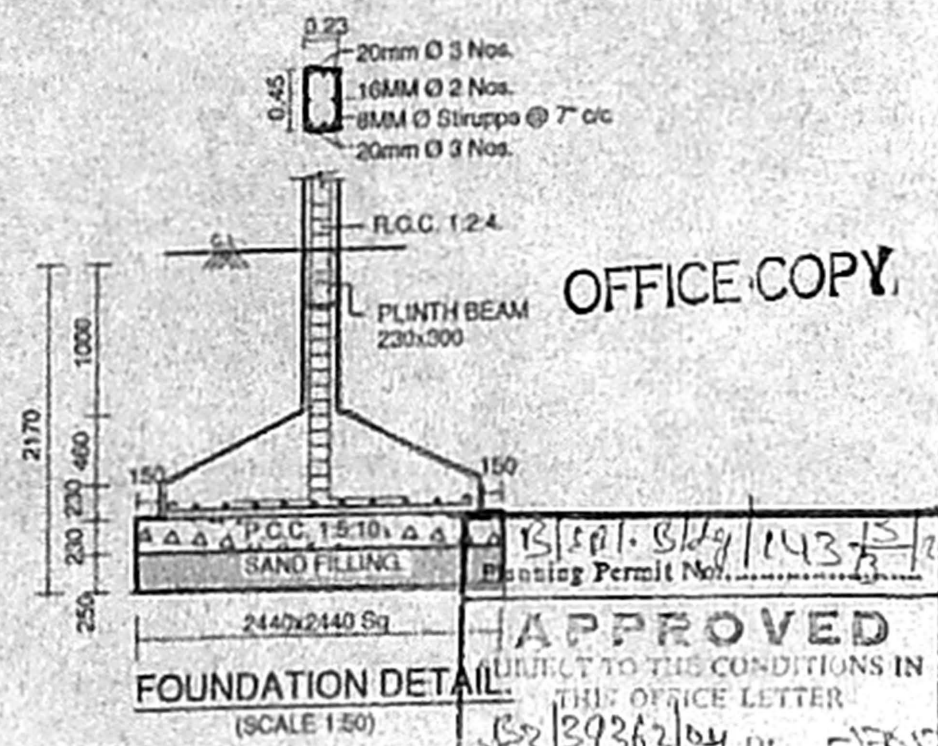
LICENSED SURVEYOR

S. ATHINMAN, R.E.
Class-I, Licensed Surveyor - No. 192
Corporation of Chennai
3, Nathamun Street,
Chennai - 17 phone: 2515 0524
Mobile: 91038440

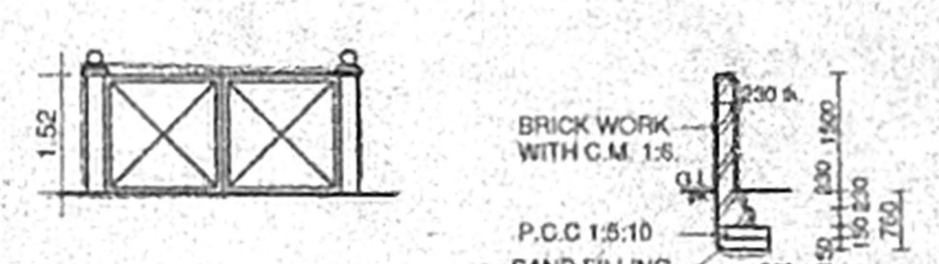
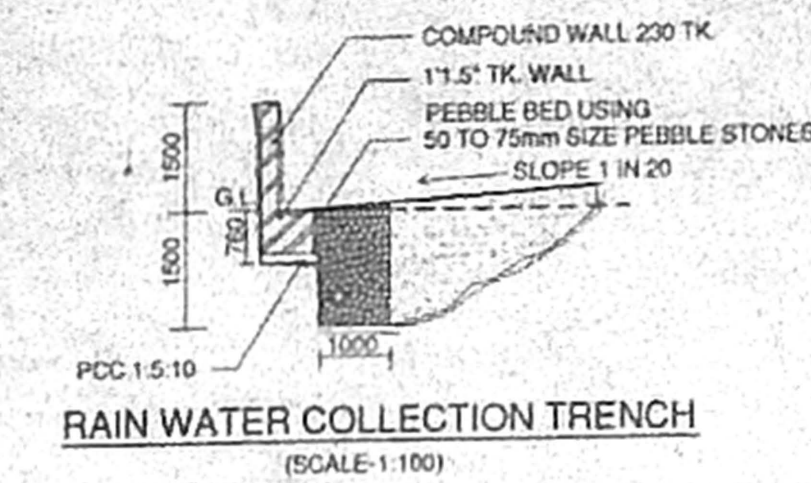
architects & engineers

R. RAMSON associates

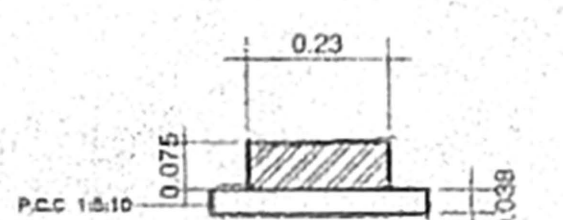
H.O: DOOR NO. 682, GREENWAYS ROAD EXTENSION, RA.PURAM, CHENNAI-63
PHONE: 24515333, 52111027
B.O: No. 72/273, SRIRISHAB * SRIKALLUR ROAD, PERAMBUR, CHENNAI - 11
PHONE: 52154992, 28701306



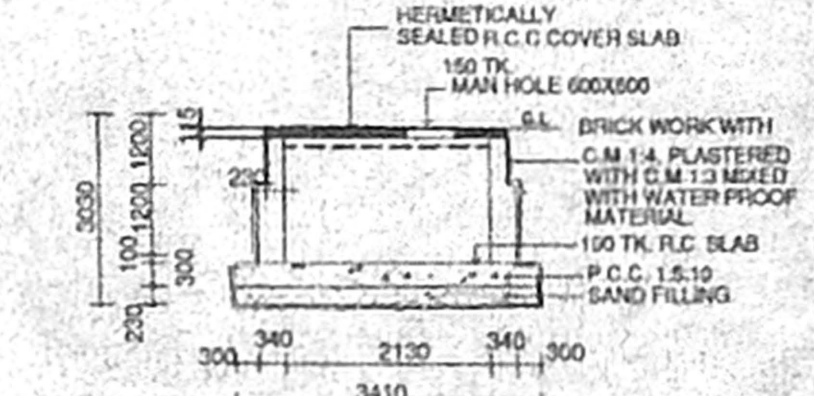
APPROVED
SUBJECT TO THE CONDITIONS IN THE OFFICE LETTER
FOR MEMBER SECRETARY
CHENNAI METROPOLITAN
DEVELOPMENT AUTHORITY
CHENNAI - 600 008.



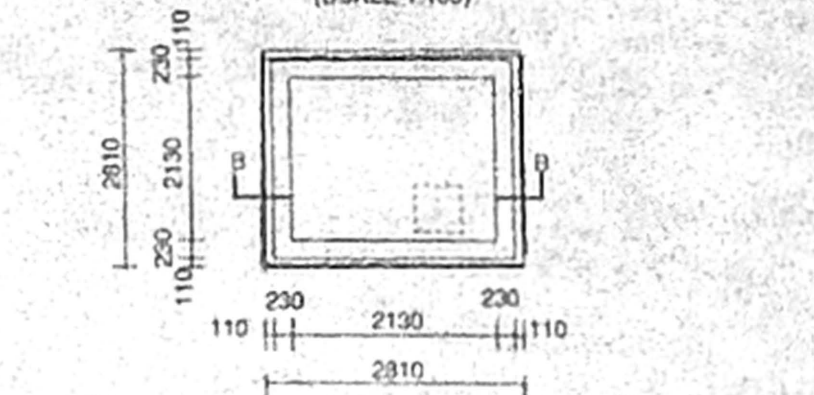
ELEVATION & SECTION OF COMPOUND WALL (SCALE-1:50)



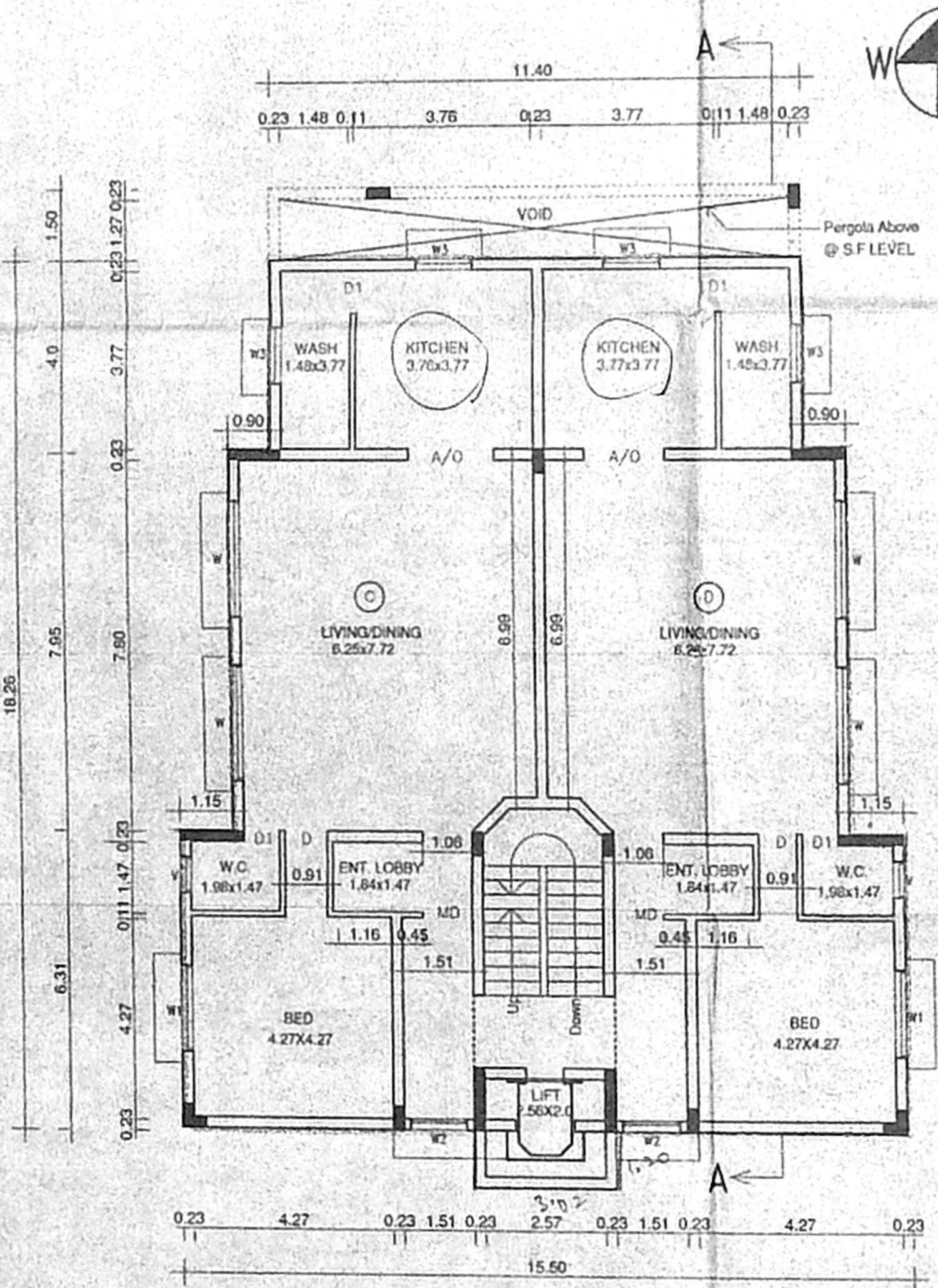
SECTION OF DWARF WALL (SCALE-1:12.5)



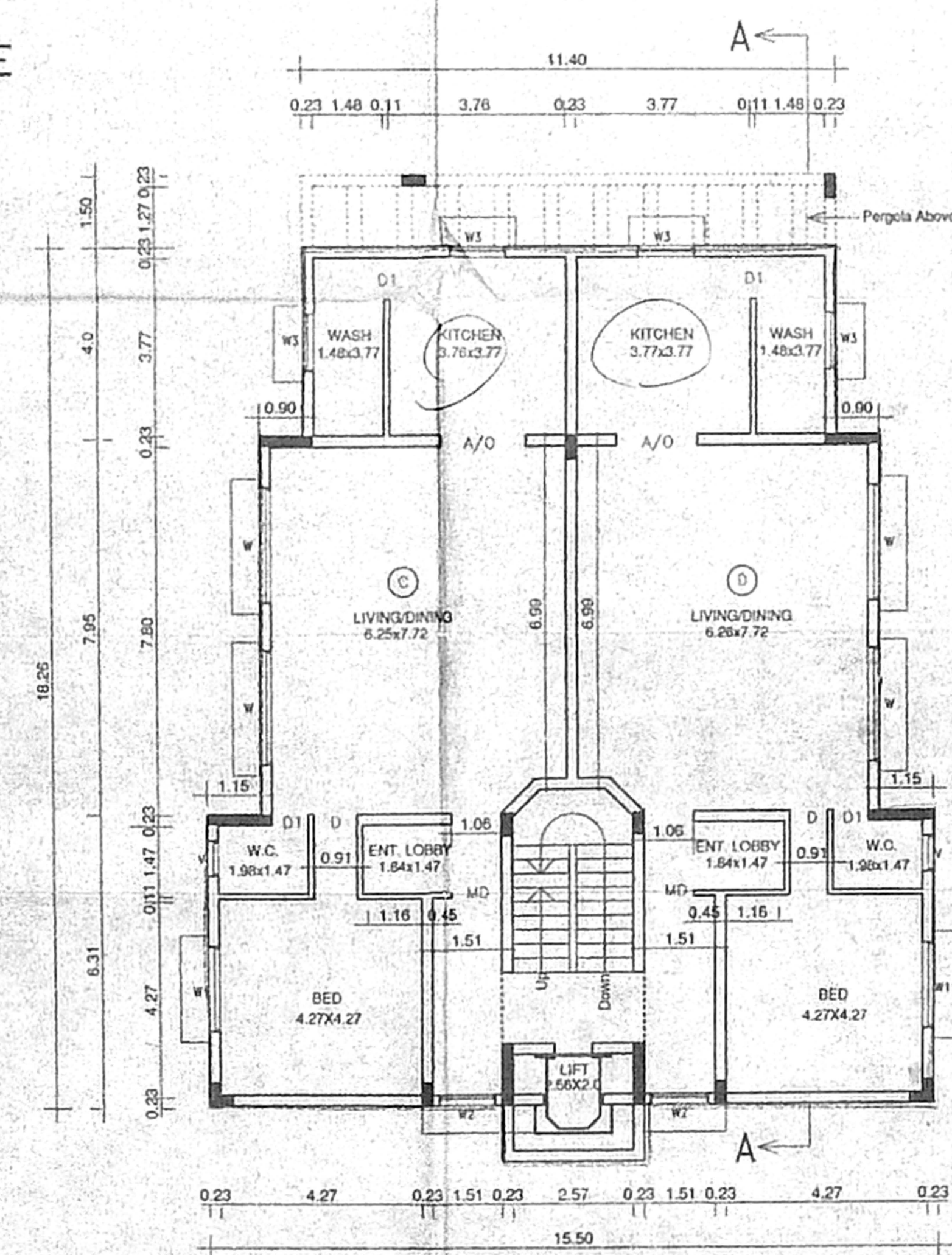
SECTION BB (SCALE 1:100)



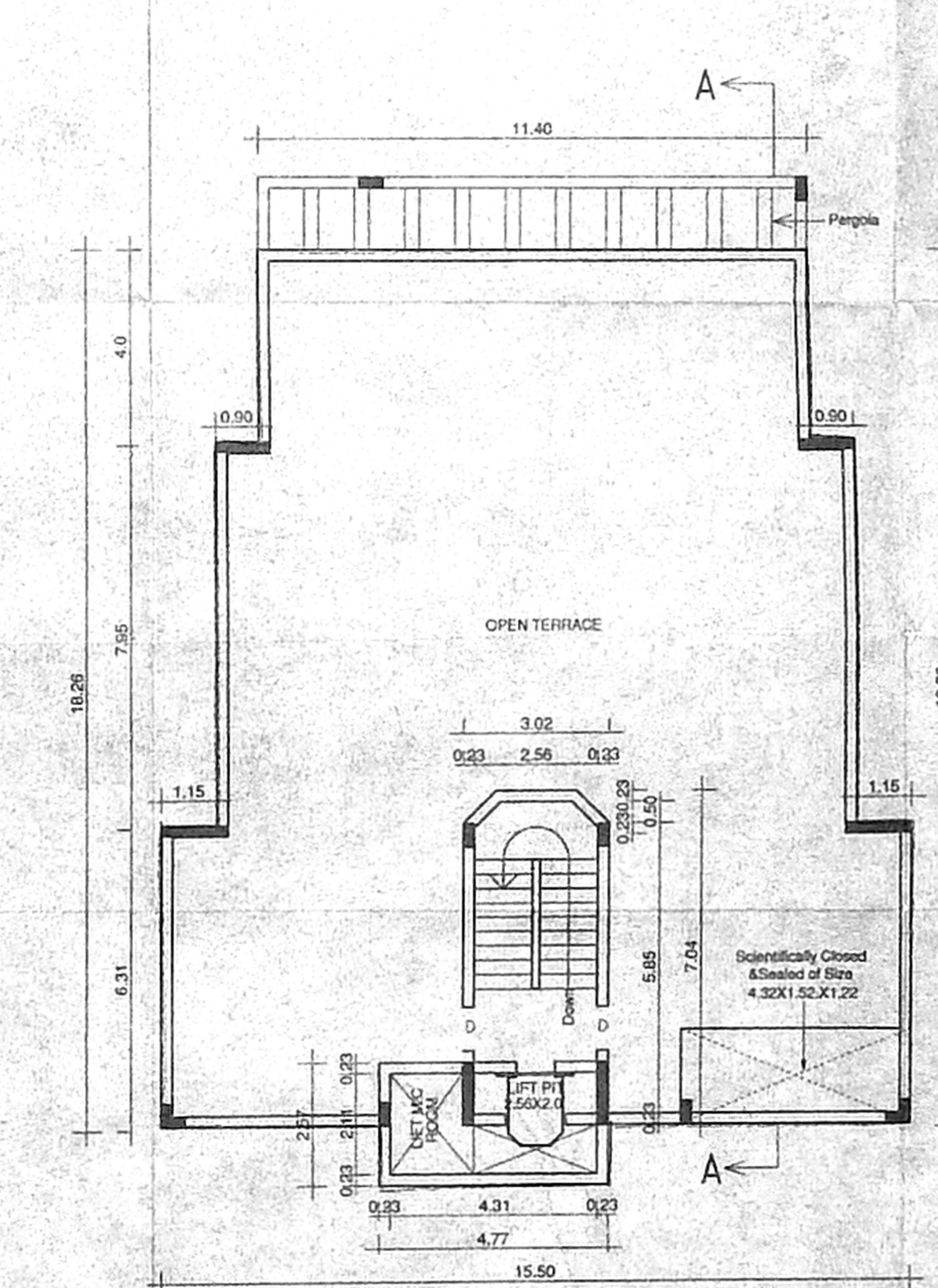
PLAN OF U.G. SUMP (CAPACITY = 6,000 litres) (SCALE-1:100)



FIRST FLOOR PLAN



SECOND FLOOR PLAN



TERRACE FLOOR PLAN